

## Pietermaritzburg Integrated Rapid Transport Network Itemised assessment of the Church Street section



*Fig: Cast detail at the entrance to Dudgeon's Standard Bank*

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**For direct submission to *Amafa aKwaZulu-Natali***

**Phase IV submission:  
Timber Street to Boschhoff Street  
June 2016**



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### i. Rationale for this document

The intention of this document is to measure as closely as possible the extant condition of buildings over the age of 60 years in order to correctly assess the manner by which they must be addressed with respect to heritage preservation in the process of excavation of the roads and pavements in the central Church Street section. This is in order to ensure the maximum protection of buildings over the age of 60 years and thus subject to Amafa protection in terms of the KwaZulu-Natal Provincial Heritage Resources Act no 4 of 2008.



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## ii. Methodology

As many of the buildings have been much altered, the methodology employed worked off known information in order to assess the buildings over the age of 60 years. This started with the information in the 'Green Book'<sup>1</sup> published nearly 30 years ago, which gives a condition and assessment by which the current status of the building in the street can be assessed today. This information was verified using Google Earth to search for pre-Modernist roof forms, as well as verification on the aerial photographs from the late 1950s.

Each section is prefaced by a list of properties measured, which were identified in the manner above for inclusion in the measuring and documentation process. This is then expanded upon with the original documentation from the 'Green Book'. Each property is dealt with individually and assessed on its own merits and mitigation measures recommended accordingly. The threshold and street interface drawings of each building are found at the end of the document: they were measured and drawn by DUT students Alvin Mvemve and Mthokozisi Zondi.

## iii. General trends in street: Timber Street to Boschhoff Street

Part of this section was renovated as a whole at the time of the pedestrianisation of the centre of Pietermaritzburg. Also, given its position as a major inner city shopping street it has fared much better of late than its counterparts in the first and second sections. Much of the lower section below the City Hall has been developed more recently and has little heritage value.

## iv. Criteria for rating

The criteria for rating is as submitted in the 'Green Book' (Bassett 1986:1157).

- 1 (a) National and / or Local Historical Importance
- 1 (b) National and / or Local Architectural Importance
- 2 Rare or outstanding Architectural Example
- 3 Grouping of Architectural Merit
- 4 Contributing to the Urban Setting
- 5 Contributing or Enhancing the Quality of the Adjoining Square or Open Space
- 6 Work of a Pioneer or Master
- 7 Over Eighty years Old
- 8 Over Eighty years Old: Worthy of Architectural or Archaeological Study

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<sup>1</sup> Bassett, B. 1986. *The Buildings of Pietermaritzburg, Volume 1*. Pietermaritzburg: Pietermaritzburg City Council.



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## 1. Buildings for inclusion in the Phase IV submission

Document no.	Street Address	Erf Number	Comment
1.1	211 Church Street	2421/1 PMB	Standard Bank, Dudgeon
1.2	218 Church Street	2521/20/21 PMB, 2521/5/20 PMB, 2522/5/7 PMB, 2521/4/REM PMB, 2558/1/PMB	The Hub
1.3	219 Church Street	2421/3/10 PMB, 2421/4 PMB, 2422/5 PMB 2422/6 PMB	Irelands, C H Stott
1.4	220 Church Street	2558/REM PMB	Cuthberts, Ing & Jackson
1.5	225 Church Street	2422/8 PMB	Widow Retief's House
1.6	226-228 Church Street	2522/4/21 PMB 2522/4/20 PMB	Carlyle Arcade
1.7	227 Church Street	2422/8 PMB	
1.8	230/232 Church Street	2523/REM PMB, 2523/7/REM PMB	Grays Inn
1.9	234 Church Street	2532/02 PMB	Permanent Building
1.10	237 Church Street	2431/1/REM PMB	
1.11	238 Church Street	2523/4/REM PMB, 25/24/5/7 PMB	Nathans Buildings
1.12	241 Church Street	2424/1/REM PMB 2424/1 PMB	Colonial Building
1.13	246 Church Street	2524/1/3 PMB	
1.14	248 Church Street	2524/1/REM PMB	Old Presbyterian Church
1.15	Court Gardens	2569 PMB	
1.16	257 Church Street	2425/1/REM PMB	
1.17	260 Church Street	2526/06	City Hall
1.18	279 Church Street	2427/8 PMB	
1.19	281 Church Street	2427/3 REM PMB	
1.20	283 Church Street	2427/5 REM PMB	Forsyth's Building
1.21	285/287 Church Street	2427/3/4 PMB 2428/3 REM PMB 2428/17 PMB 2428/2 PMB	Henwood's Building
1.22	289 Church Street	2428/11 PMB	
1.23	340 Church Street	2571/01	
1.24	346 Church Street	2534/1 PMB	Voortrekker Museum
1.25	350 Church Street	2535/2 PMB	
1.26	Gandhi Statue		
1.27	Light posts		
1.28	General comments		



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Section 3.7 of the submitted report *Heritage Impact Assessment of the alignment for the proposed Integrated Rapid Transport Network, Pietermaritzburg – PHASE I SURVEY CHURCH STREET SECTION*<sup>2</sup> recorded the following recommendations regarding paving.

*Paving must be complimentary to the buildings and simultaneously sympathetic. Whilst the idea of red brick (as is the new paving outside the City Hall) is tempting, it is noisy, labour intensive as well as certainly not maintenance free. In addition, red brick competes with the general building fabric, thus suggesting that a darker, more neutral colour be employed. This will also be a unifying mechanism within which variations of material and colour can occur in order to signify different events or places. At the same time, paving has to be hard wearing dependent on the usage of pedestrian and variant forms of vehicular traffic.*

*It is recommended that the paving create a neutral backdrop for the general activities along Church Street, and that striations and colour interventions are avoided in the main, these being used rather in areas that demand focus and attention through the paving.*

It is still highly recommended that paving consisting of small elements be avoided.

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<sup>2</sup> This report was prepared for Strategic Environmental Focus in July 2014 by Archaic Consulting and thus serves as reference.



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## 1.1 211 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:293) records this building as being 'Single storey bank premises: slate roof, red brick and plaster walls. The building was designed by P.M Dudgeon in the Palladian style popular in the Georgian era of the late English Renaissance. The building is tempered by the unique red brick of Pietermaritzburg. It has recently been renovated by the Standard Bank. A landmark quality building of architectural and historical importance. It is rated as 1(a).1(b).2.3.4.5.6.7.8

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of:

- 1 (a) National and / or Local Historical Importance
- 1 (b) National and / or Local Architectural Importance
- 2 Rare or outstanding Architectural Example
- 3 Grouping of Architectural Merit
- 4 Contributing to the Urban Setting
- 5 Contributing or Enhancing the Quality of the Adjoining Square or Open Space
- 6 Work of a Pioneer or Master
- 7 Over Eighty years Old
- 8 Over Eighty years Old: Worthy of Architectural or Archaeological Study

Currently this building has undergone a number of other layers of renovation in recent times. Its exterior is in reasonably good condition. However, it must be noted that the edge of the paving / slab of the external apron of the building is damaged to the right of the central entrance area. There is also significant staining of the encaustic tiles. **PLEASE NOTE THAT ANY WORK CARRIED OUT IN THE PROXIMITY OF THIS BUILDING HAS TO BE DONE WITH EXTREME CARE.**



**Fig 1: Cast post at entrance to Standard Bank**



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**Fig 2: Detail of the railed enclosure onto Church Street. This is the most significantly affected area**



**Fig 3: Showing interface between street paving and building paving edge**



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**Fig 4: Showing existing damage to edging of paving and staining of encaustic tiles**



**Fig 5: Showing the extent of the paving interface**



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**Fig 6: Reasonable condition to the northern corner of the street face**



**Fig 7: Note drains and municipal service areas in proximity of the railings**



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## Mitigation – 211 Church Street:

Given the value and condition of this building, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage. Particularly, the damaged apron and the staining on the encaustic tiles must be documented.
- The supervisor and the architect for the project are to be directly accountable for any impact to the building.
- Should the building be damaged in any manner as a result of works to the pavement, the damage must be repaired by the contractor, and carried out in accordance with Amafa conditions and requirements.
- The existing paving must be carefully removed and stacked on the road edge before removal off site. Paving must not be situated on the encaustic material of the external precinct of the building, nor its edges, nor be stacked up against the railings.
- It must not be located against the walls of the building or the precinct of the cast iron enclosure in any manner.
- When excavation is being carried out, the base of the building and the foundations must be protected from impact
- No pneumatic machinery is to be used in close proximity to the walls of the building.
- At the slightest sight of cracks to the walls that were not in existence prior to work being carried out, all work in proximity to the building and its cracks must cease.
- Any work carried out with regard to the municipal service elements to the north eastern corner must be carried out with the above guidelines in mind.



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## 1.2 218 Church Street

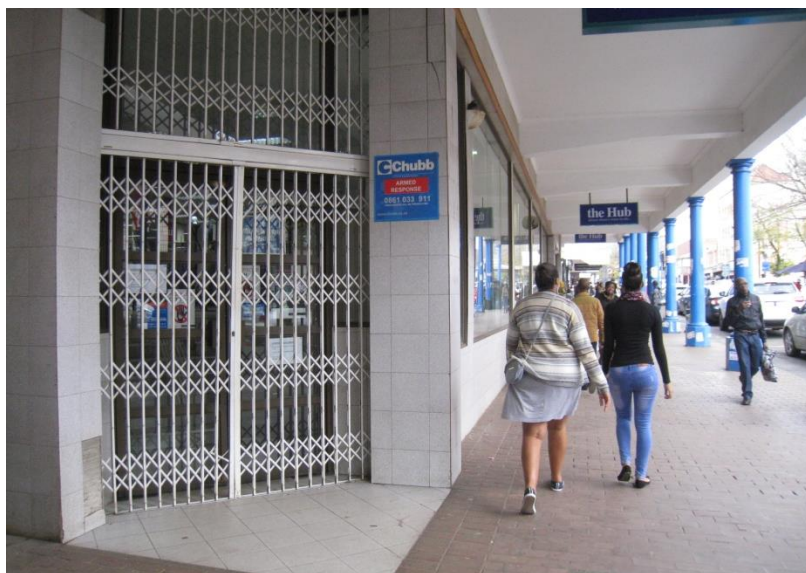
*The Buildings of Pietermaritzburg* (Bassett 1986:300) records this building as being 'Three storey shop: concealed flat roof: shop front and plastered brick walls: concrete canopy'. It is rated as 4.

Thus: in terms of the 'Green Book' (Bassett 1986:300) it was assessed in 1986 as being of:

4 Contributing to the Urban Setting



**Fig 8: Showing 218 Church Street with canopy and columns over covered pavement**



**Fig 9: Showing paved edge of shopfront and building**



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*Fig 10: Slab, Columns and Column bases over the pavement*



*Fig 11: Corner of building from across Church Street*



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This building currently houses The Hub store. In its present form it is nondescript, and the building – pavement – street interface has been much altered, with cladding tiles being placed on the base of the building and work carried out on the paving during the pedestrianisation of Church Street. However it is suspected that there is an earlier building behind the façade and it is strongly recommended that all general mitigatory procedures be applied in this case.

### **Mitigation – 218 Church Street:**

Given that the façade of the building has been much altered in the past, in addition to paving being carried out in the 1980s, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
- The supervisor and the architect for the project are to be directly accountable for any impact to the building.
- Should the building be damaged in any manner as a result of works to the pavement, the damage must be repaired by the contractor, and carried out in accordance with Amafa conditions and requirements.
- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- It must not be located against the walls of the building or its columns in any manner.
- When excavation is being carried out, the base of the building and the foundations must be protected from impact
- No pneumatic machinery is to be used in close proximity to the walls of the building.



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### 1.3 219 Church Street – Irelands Building

*The Buildings of Pietermaritzburg* (Bassett 1986:301) records this building as being 'Double Storey shop (formerly called "Irelands") flat roof: red brick and plastered walls ornately moulded: cupola roof with rounded metal tiles, ornate cast iron colonnade, brackets, drip frets and balustrade to open balcony over sidewalk: a high character building of landmark quality designed by C.H Stott. When the building was recycled the original façade was preserved by the developers.' It is rated as 1(a).1(b).2.3.4.5.6.7.8.

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of

- 1 (a) National and / or Local Historical Importance
- 1 (b) National and / or Local Architectural Importance
- 2 Rare or outstanding Architectural Example
- 3 Grouping of Architectural Merit
- 4 Contributing to the Urban Setting
- 7 Over Eighty years Old

Furthermore, whilst this building is not in ideal condition (work on the canopy ceiling and some general cosmetic maintenance required), apart from the work carried out in order to secure the shopfront some years ago, it is , it is reasonably intact. Note that it is an important building in this section of Church Street. Note also that the base of the building has been previously impacted upon with the paving of Church Street during the pedestrianisation process, and that this should be taken cognizance of. Of great concern, however, is the proliferation of pasted posters on the column bases. These should be removed upon completion of the works.

**PLEASE NOTE THAT ANY WORK CARRIED OUT IN THE PROXIMITY OF THIS BUILDING HAS TO BE DONE WITH EXTREME CARE.**



**Fig 12: Front façade of Irelands Building (now Edgars)**



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**Fig 13: Eaves and colonnade interface**



**Fig 14: Base of cast iron column**



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**Fig 15: Showing paired columns to each side of the main entrance**



**Fig 16: View from across the street showing massing and proportions**



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**Fig 17: Showing intact shopfront and pavement – shopfront interface**



**Fig 18: Maintenance required in ceiling to canopy**



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**Fig 19: Further maintenance required in ceiling to canopy**



**Fig 20: Note disrupted street furniture to the left and municipal services to the right in the covered pavement**



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**Fig 21: Showing the illegal placards placed on the column bases**

### **Mitigation – 219 Church Street:**

Given the value and condition of this building, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the pavement, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
- The supervisor and the architect for the project are to be directly accountable for any impact to the building.
- Should the building be damaged in any manner as a result of works to the pavement, the damage must be repaired by the contractor, and carried out in accordance with Amafa conditions and requirements.
- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- The column bases must be approached with due care and material must not be laid against them.
- Work carried out against the historic shop front must be approached with due care and materials must not be laid against it.
- When excavation is being carried out, the base of the building and the foundations must be protected from impact.
- No pneumatic machinery is to be used in close proximity to the walls of the building.
- At the slightest sight of cracks to the walls that were not in existence prior to work being carried out, all work in proximity to the building and its cracks must cease.
- Any work carried out with regard to the municipal service elements must be carried out with the above guidelines in mind.



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## 1.4 220 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:301) records this building as being 'Double Storey shops and offices: tiled roof: plastered brick walls with decorative mouldings: twin Dutch Revival gables: canopy added at later date: unusual half-round headed windows at first floor: architects Ing & Jackson. It is rated as 1(a).1(b).2.3.4.7

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of

- 1 (a) National and / or Local Historical Importance
- 1 (b) National and / or Local Architectural Importance
- 2 Rare or outstanding Architectural Example
- 3 Grouping of Architectural Merit
- 4 Contributing to the Urban Setting
- 7 Over Eighty years Old

To this would be added, criterion 6, as the work of a master in the field. For many years, it served as the Cuthberts Buildings and was constructed in 1931. Whilst the first floor remains architecturally intact, the ground street front has been much altered and little remains of the original structure, housing as it does part of The Hub. In addition, the building would have been impacted upon during the replacement of the paving during the pedestrianisation of Church Street. The canopy needs some repair work and the building requires some work at first floor level. Despite this, all due care must be taken when working against this building in case of further possible damage. The columns have all been affected by bill stickers.



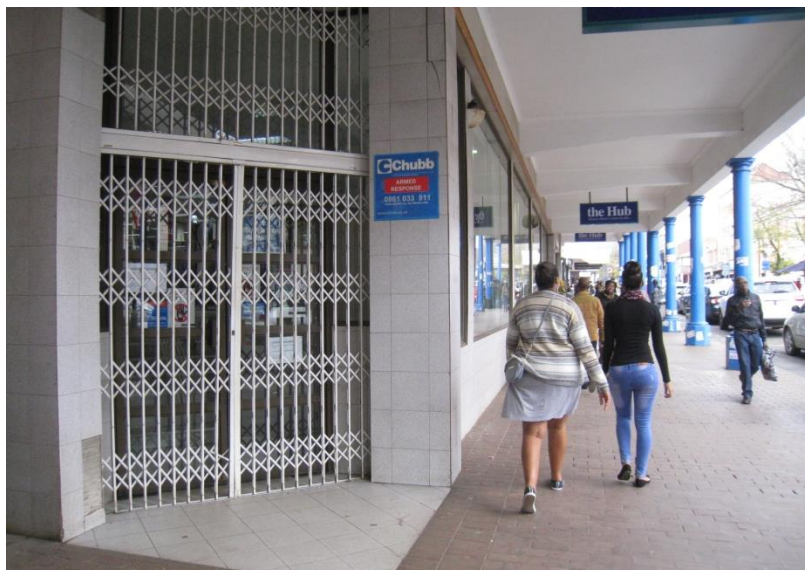
**Fig 22: Front façade of Union Period Cuthbert's Buildings**



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**Fig 23: From the top corner of the Cuthbert's Building looking up Church Street towards the main entrance of The Hub**

### **Mitigation – 220 Church Street:**

Given that the façade of the building has been much altered in the past, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
- The supervisor and the architect for the project are to be directly accountable for any impact to the building.
- Should the building be damaged in any manner as a result of works to the pavement, the damage must be repaired by the contractor, and carried out in accordance with Amafa conditions and requirements.
- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- It must not be located against the walls of the building in any manner.
- When excavation is being carried out, the base of the building and the foundations must be protected from impact
- No pneumatic machinery is to be used in close proximity to the walls of the building.
- At the slightest sight of cracks to the walls that were not in existence prior to work being carried out, all work in proximity to the building and its cracks must cease.



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## 1.5 225 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:302) records this building as being 'Single storey dwelling converted to offices: concealed flat roof: plastered brick walls: sliding sash windows: moulded canopy to door and window: moulded cornice to parapet: timber fielded panel entrance door. Built circa 1840 and known locally as "The Widow Retief's House". Probably only part of the original house remains which is believed to have stood on the site presently occupied by no 219 Church Street (Edgars). This "dorpshuisie" and land was given to Piet Retief's widow, where she lived and earned an honest living baking bread and boerebeskuit for sale, and for fulfilling the contracts of both the little prison, and from 1842 the laager at Congella. By stepping into this from part of the little house, now occupied by offices, one can still see the line of the chimney where the baking oven stood" (*The place of the Elephant* by Ruth Gordon). It is rated as 1 (a). 1(b). 2.3.4.7.8.

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of:

- 1 (a) National and / or Local Historical Importance
- 1 (b) National and / or Local Architectural Importance
- 2 Rare or outstanding Architectural Example
- 3 Grouping of Architectural Merit
- 4 Contributing to the Urban Setting
- 7 Over Eighty years Old
- 8 Over Eighty years Old: Worthy of Architectural or Archaeological Study

This house has been under threat for many years since the assessment in the "Green Book". It is currently occupied by a clothing shop. **PLEASE NOTE THAT ANY WORK CARRIED OUT IN THE PROXIMITY OF THIS BUILDING HAS TO BE DONE WITH EXTREME CARE.**



**Fig 24: The front of Widow Retief's house and the junction with the Irelands Building adjacent**



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**Fig 25: Full elevation showing building and signage on cornice**



**Fig 26: View of interface with the pavement and entrance detail**



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## Mitigation – 225 Church Street:

Given the value and condition of this building, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
- The supervisor and the architect for the project are to be directly accountable for any impact to the building.
- Should the building be damaged in any manner as a result of works to the pavement, the damage must be repaired by the contractor, and carried out in accordance with Amafa conditions and requirements.
- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- It must not be located against the walls of the building in any manner.
- When excavation is being carried out, the base of the building and the foundations must be protected from impact
- No pneumatic machinery is to be used in close proximity to the walls of the building.
- At the slightest sight of cracks to the walls that were not in existence prior to work being carried out, all work in proximity to the building and its cracks must cease.
- Note that this building is extremely fragile and that in the event of mishap, all works should stop immediately and an Amafa official be consulted.

## 1.6 226 – 228 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:302) records this building as being 'Double storey shops and offices: tiled roof: roofed balcony over sidewalk: plastered brick walls and columns: distinctive arches on balcony. This building has an entrance at ground floor giving access to Carlyle Arcade' It is rated as 1(a).1(b).2.3.4.7.

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of

- 1 (a) National and / or Local Historical Importance
- 1 (b) National and / or Local Architectural Importance
- 2 Rare or outstanding Architectural Example
- 3 Grouping of Architectural Merit
- 4 Contributing to the Urban Setting
- 7 Over Eighty years Old

It would appear that the first floor balcony has been enclosed since the time of the writing of the 'Green book'. However, the building, like most of the others, is generally intact but needs some measure of cosmetic work. It has been altered extensively on the ground floor, and the Original shop fronts would have suffered somewhat at the time of the paving for the pedestrianisation. Further, the columns have suffered from an inappropriate level of illegal bill sticking. Currently the Carlyle Buildings house Spitz and Identity. The building at shopfront level has been branded accordingly.



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**Fig 27: Carlyle's Buildings from across the street – note the interface with Cuthberts to the right**



**Fig 28: Showing soffit and second floor, and the bills stuck on the columns**



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**Fig 29: Looking up Church Street past the Carlyle Buildings showing the shopfront – pavement – street interface**



**Fig 30: View of seamless movement between outside pavement and tiled interior. Note the new shopfronts**



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**Fig 31: The interface between shopfront and pavement. Threshold has been reworked to brand the shop in question**



**Fig 32: Note posters applied to columns**



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**Fig 33: View showing the interface between shopfront – pavement**



**Fig 34: View of entrance to Carlyle Arcade**



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**Fig 35: Showing threshold alterations and interface with paving**

### **Mitigation 226-228 Church Street:**

Given that the façade of the building has been much altered in the past, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
- The supervisor and the architect for the project are to be directly accountable for any impact to the building.
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- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- It must not be located against the walls of the building in any manner.
- When excavation is being carried out, the base of the building and the foundations must be protected from impact
- No pneumatic machinery is to be used in close proximity to the walls of the building.
- At the slightest sight of cracks to the walls that were not in existence prior to work being carried out, all work in proximity to the building and its cracks must cease.



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## Fig 1.7      227 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:303) records this building as being 'Double storey shop: concealed flat roof: vertical metal louvre facing to building concealing original façade'. It is rated as 1(b).4.

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of

- 1 (b)    National and / or Local Architectural Importance
- 4        Contributing to the Urban Setting

This building is inscrutable behind the louvred front. However, the older façade exists suggesting that elements of the original may still exist. This thus informs the decision in the recommendations.



**Fig 36: 227 Church Street behind vertical screen**



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**Fig 37: 227 Church Street showing cantilevered canopies, and shopfront – pavement interface**

### **Mitigation - 227 Church Street:**

Given that the façade of the building is of uncertain value, and there is little shopfront to speak of, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
- The supervisor and the architect for the project are to be directly accountable for any impact to the building.
- Should the building be damaged in any manner as a result of works to the pavement, the damage must be repaired by the contractor, and carried out in accordance with Amafa conditions and requirements.
- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- It must not be located against the walls of the building in any manner.
- When excavation is being carried out, the base of the building and the foundations must be protected from impact
- No pneumatic machinery is to be used in close proximity to the walls of the building.
- At the slightest sight of cracks to the walls that were not in existence prior to work being carried out, all work in proximity to the building and its cracks must cease.



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## 1.8 230 - 232 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:303) records this building as being 'Double storey shop: corrugated iron roof: red brick walls with plaster moulds: decorative canopy in Georgian Classical Revival style on columns: lightweight façade in slatted aluminium oversidewalk fronts old building behind.' It is rated as 1 (a). 1(b).2.3.4.7.8

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of

- 1 (a) National and / or Local Historical Importance
- 1 (b) National and / or Local Architectural Importance
- 2 Rare or outstanding Architectural Example
- 3 Grouping of Architectural Merit
- 4 Contributing to the Urban Setting
- 7 Over Eighty years Old
- 8 Over Eighty years Old: Worthy of Architectural or Archaeological Study

This consists of two conjoined buildings which house Adam's Bookshop. Generally, the condition is acceptable, and it is encouraging to note that these two buildings have been improved since the writing of the 'Green Book' in that the aluminium fronting has been removed. The cast iron columns, particularly, are in dire need of maintenance.

**PLEASE NOTE THAT ANY WORK CARRIED OUT IN THE PROXIMITY OF THIS BUILDING HAS TO BE DONE WITH EXTREME CARE**



**Fig 38: Adams (Grays Inn) Building from across the street**



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**Fig 39: Street interface – note slender columns with tapered bases**



**Fig 40: Street view of colonnade. Note the junction between Grays Inn and the conjoined building**



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**Fig 41: Showing the two buildings together against 228 Church Street with the projecting veranda**



**Fig 42: Showing condition of columns and cast iron brackets but concern about the roofing to the canopy**



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**Fig 43: Two buildings against 234 Church Street**



**Fig 44: Condition of column bases**



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**Fig 45: Showing line of column bases – note fire hydrant in line with collonade**



**Fig 46: Showing condition of ceiling under canopy and shopfront – pavement – pedestrianized street interface**

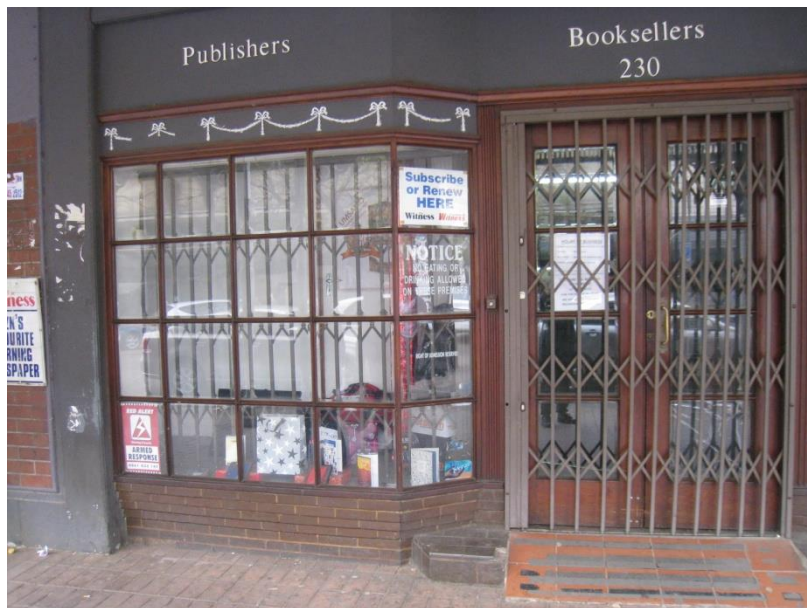


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**Fig 47: Shopfront to 230 Church Street. Largely original and intact**



**Fig 48: Showing shopfront – pavement interface**



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## Mitigation – 230-232 Church Street:

Given the value and condition of this building, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
- The supervisor and the architect for the project are to be directly accountable for any impact to the building.
- Should the building be damaged in any manner as a result of works to the pavement, the damage must be repaired by the contractor, and carried out in accordance with Amafa conditions and requirements.
- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- It must not be located against the walls of the building in any manner.
- When excavation is being carried out, the base of the building and the foundations must be protected from impact
- No pneumatic machinery is to be used in close proximity to the walls of the building.
- At the slightest sight of cracks to the walls that were not in existence prior to work being carried out, all work in proximity to the building and its cracks must cease.

### 1.9 234 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:304) records this building as being ‘Eight storey building: office block: slate roof: plastered concrete frame structure: shop front and concrete canopy’ It is rated as 4.7.

Thus: in terms of the ‘Green Book’ (Bassett 1986:277) it was assessed in 1986 as being of

4      Contributing to the Urban Setting  
7      Over Eighty years Old<sup>3</sup>

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<sup>3</sup> Note that the author is dubious of this contention.



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**Fig 49: Permanent Building from across the street**



**Fig 50: Front entrance of Permanent Building showing detailing at threshold and building – pavement interface**



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*Fig 51: Front of building showing soffit of cantilevered slab across pavement*



*Fig 52: Front of building showing massing and cornice at the upper floor*



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## Mitigation - 234 Church Street:

Despite the incorrectness of the statement in the 'Green Book' this building is now over 60 years old, or very close, which protects it in terms of the KwaZulu-Natal Provincial Heritage Resources Act no 4 of 2008. For this reason, the following recommendations are submitted.

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
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### 1.10 237 Church Street

*The Buildings of Pietermaritzburg* (Bassett 19304) records this building as being 'Three storey bank building concealed flat concrete roof: face brick and reconstructed stone walls. Architects Knuppe and Gardiner'. It is rated as 3.4.5.

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of

- 3 Grouping of Architectural Merit
- 4 Contributing to the Urban Setting
- 5 Contributing or Enhancing the Quality of the Adjoining Square or Open Space



**Fig 53: Corner edge of Church Street and Gallwey Lane**



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**Fig 54: Showing shopfront – pavement – pedestrianized street interface**

### **Mitigation - 237 Church Street:**

This building is now over 60 years old, or very close, which protects it in terms of the KwaZulu-Natal Provincial Heritage Resources Act no 4 of 2008. For this reason, the following recommendations are submitted.

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
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- Should the building be damaged in any manner as a result of works to the pavement, the damage must be repaired by the contractor, and carried out in accordance with Amafa conditions and requirements.
- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- It must not be located against the walls of the building in any manner.
- When excavation is being carried out, the base of the building and the foundations must be protected from impact
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## 1.11 238 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:296) records this building as being 'Double storey business premises: corrugated iron roof: red brick walls with elaborate and ornate plaster moulds, cornices and embellishments now largely concealed by later alterations in the form of a dominant aluminium slatted fascia on the front line of the sidewalk and the modern shop front. The building, "Nathan's Buildings" extends from Church Street through to Chancery Lane where the high character classical Georgian façade "Nathan's Chambers" forms a fine stop end to the turn in the lane. The façade in Church Street with its twin pedimented gables with cartouche panels surmounts a high Renaissance treatment of fenestration with plaster pilasters and moulded, half-round and elliptical arches timber framed casement windows and doors gave access to a balcony over the sidewalk. The balcony, supported on delicate cast iron columns and brackets had an ornate cast iron balustrade. The older picture illustrates the high character Victorian building which complemented no 219 Church Street restored in the 1970s.' It is rated as 1(a).1(b).2.3.4.7.

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of

- 1 (a) National and / or Local Historical Importance
- 1 (b) National and / or Local Architectural Importance
- 2 Rare or outstanding Architectural Example
- 3 Grouping of Architectural Merit
- 4 Contributing to the Urban Setting
- 7 Over Eighty years Old

**PLEASE NOTE THAT ANY WORK CARRIED OUT IN THE PROXIMITY OF THIS BUILDING HAS TO BE DONE WITH EXTREME CARE.**



**Fig 55: Nathan's Chambers double gable visible above the cladding**



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**Fig 56: Showing shopfront – pavement interface, paired simple Roman Doric columns and Heraklith or similar ceiling to the underside of the canopy**



**Fig 57: Close up of ceiling and edge of canopy. Note column encased in tiles**



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**Fig 58: Streetscape showing obscurity of the Nathan's Chambers double gable**

### **Mitigation – 238 Church Street:**

Given the value and condition of this building, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
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- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- It must not be located against the walls of the building in any manner.
- When excavation is being carried out, the base of the building and the foundations must be protected from impact
- No pneumatic machinery is to be used in close proximity to the walls of the building.
- At the slightest sight of cracks to the walls that were not in existence prior to work being carried out, all work in proximity to the building and its cracks must cease.



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## 1.12 241 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:306) records this building as being 'Three storey civic building: slate roof. The building derives from the late English Renaissance Georgian period with elegant columns which rise through two floors to support the main pediment, heavily rusticated at ground floor to increase formality: a central domical roof. The walls and columns are of stone and the casement windows timber framed. This building is one of the most important landmarks in the city, as well as being of considerable historical and architectural significance. Architect W.H Powell, completed in 1901.' It is rated as 1(a).1(b).2.3.4.5.6.7.8

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of:

- 1 (a) National and / or Local Historical Importance
- 1 (b) National and / or Local Architectural Importance
- 2 Rare or outstanding Architectural Example
- 3 Grouping of Architectural Merit
- 4 Contributing to the Urban Setting
- 5 Contributing or Enhancing the Quality of the Adjoining Square or Open Space
- 6 Work of a Pioneer or Master
- 7 Over Eighty years Old
- 8 Over Eighty years Old: Worthy of Architectural or Archaeological Study

**PLEASE NOTE THAT ANY WORK CARRIED OUT IN THE PROXIMITY OF THIS BUILDING HAS TO BE DONE WITH EXTREME CARE.**



**Fig 29: General view of Colonial Building from across the street. Note all the paraphernalia in the street**



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**Fig 60: Showing flagpole to secondary entrance to Colonial Building. Note interface between paving, planter, stairs, flagpole and substation to the right**



**Fig 61: General view up Church Street showing the edge of Colonial Building onto the pedestrian plaza**



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***Fig 62: Interface between rusticated base and paving***



***Fig 63: Showing interface between stairs and paving to the plaza***



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**Fig 64: General view of Colonial Building with the statue of Gandhi to the left**



**Fig 65: Front steps of the Colonial Building. Note interface between stairs and paving**

The Colonial Building has been extensively renovated in recent years, yet this work has had no impact on the surrounds. Whilst the building is in generally good condition, the design decisions in the precinct, which extend to the placing of a substation in the corner, have not done the area, or the building, any favours.



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## Mitigation – 241 Church Street:

Given the value and condition of this building, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
- The supervisor and the architect for the project are to be directly accountable for any impact to the building.
- Should the building be damaged in any manner as a result of works to the pavement, the damage must be repaired by the contractor, and carried out in accordance with Amafa conditions and requirements.
- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- It must not be located against the walls of the building in any manner.
- When excavation is being carried out, the base of the building and the foundations must be protected from impact
- No pneumatic machinery is to be used in close proximity to the walls of the building.
- At the slightest sight of cracks to the walls that were not in existence prior to work being carried out, all work in proximity to the building and its cracks must cease.
- It is recommended that the extant paving adjacent to the footprint of the building be retained, and that a course of this paving act as the guideline for the laying of the new sections. This will not only act as a buffer in protecting the building, but also indicate quite clearly the line of the old and the new.

### 1.13 246 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:306) records this building as being 'Double storey shop with balcony over sidewalk: corrugated iron roof: walls plastered and painted: balcony enclosed: Belgian Renaissance Revival gable.' It is rated as 1(a).1(b).3.4.7

- 1 (a) National and / or Local Historical Importance
- 1 (b) National and / or Local Architectural Importance
- 3 Grouping of Architectural Merit
- 4 Contributing to the Urban Setting
- 7 Over Eighty years Old

**PLEASE NOTE THAT ANY WORK CARRIED OUT IN THE PROXIMITY OF THIS BUILDING HAS TO BE DONE WITH EXTREME CARE.**

This building has been extensively altered and is not in a particularly good condition, evidenced by the damp on the ceiling of the canopy, and the capricious choice of paint and paint quality. However, it must be treated in accordance with the guidelines for any other building of its standing in the street.



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**Fig 66: 246 Church Street from across the plaza**



**Fig 67: View towards building showing interface of street and building**



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**Fig 68: Damage to the underside of the canopy soffit**



**Fig 69: Damage to the underside of the canopy soffit**



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**Fig 70: Connection with adjacent building**

### **Mitigation – 246 Church Street:**

Given the value and condition of this building, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
- The supervisor and the architect for the project are to be directly accountable for any impact to the building.
- Should the building be damaged in any manner as a result of works to the pavement, the damage must be repaired by the contractor, and carried out in accordance with Amafa conditions and requirements.
- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- It must not be located against the walls of the building in any manner.
- When excavation is being carried out, the base of the building and the foundations must be protected from impact
- No pneumatic machinery is to be used in close proximity to the walls of the building.
- At the slightest sight of cracks to the walls that were not in existence prior to work being carried out, all work in proximity to the building and its cracks must cease.



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## 1.14 248 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:298) records this building as being 'Single storey church presently converted to government office use: corrugated iron roof: brick walls plastered and painted. The building has a finely proportioned spire of great character and was declared a National Monument on 9<sup>th</sup> March 1979.' It is rated as 1(a).1(b).3.4.7.

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of:

- 1 (a) National and / or Local Historical Importance
- 1 (b) National and / or Local Architectural Importance
- 3 Grouping of Architectural Merit
- 4 Contributing to the Urban Setting
- 7 Over Eighty years Old

Although the 'Green Book' notes the Old Presbyterian Church as the site, the palisade placed in front of the building has reference. Please note the author's concern about the palisade and the impact that this has on the building and the walling onto which it is fixed.

Generally, the walling suffers from extreme lack of maintenance, the effects of continual and unpoliced bill sticking as well as material damage from damp.

**PLEASE NOTE THAT ANY WORK CARRIED OUT IN THE PROXIMITY OF THIS BUILDING HAS TO BE DONE WITH EXTREME CARE.**



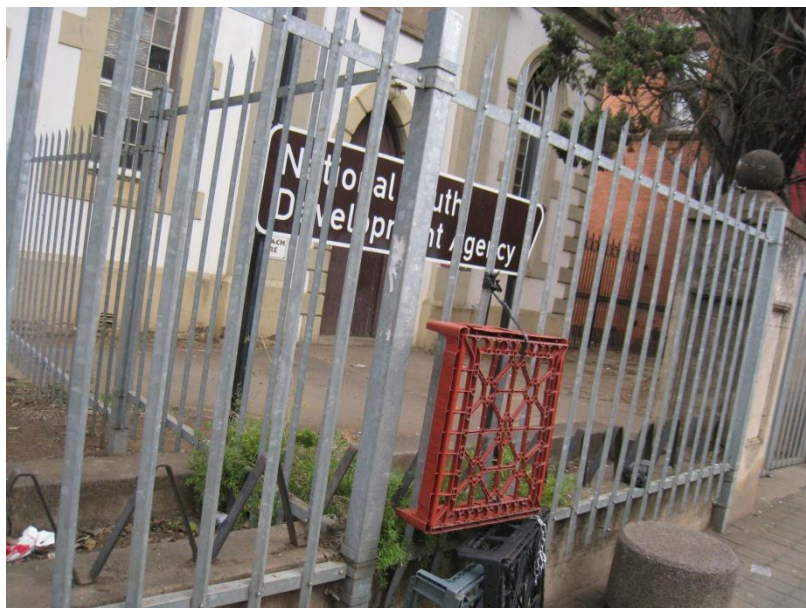
**Fig 71: Junction between wall, fixings of the palisade onto the wall, and the wall pavement interface**



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**Fig 72: View showing general lack of planning and sensitivity with regards to fencing the area**

### **Mitigation – 248 Church Street:**

Given the value and condition of this site, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
- The supervisor and the architect for the project are to be directly accountable for any impact to the wall.
- Should the wall be damaged in any manner as a result of works to the pavement, the damage must be repaired by the contractor, and carried out in accordance with Amafa conditions and requirements.
- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- It must not be located against the wall in any manner.
- When excavation is being carried out, the base of the wall and the foundations must be protected from impact
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## 1.15 Court Gardens

*The Buildings of Pietermaritzburg* (Bassett 1986:307) records this space as being 'Public open space. The entrance to Court Gardens is through the War Memorial Arch dedicated to those of Pietermaritzburg and District who fell in the service of their country during the two World Wars. Designed in the form of a Classical Roman Triumphal Arch in the Ionic Order and flanked by a pair of captured German field guns. On the corner stands the Zulu War Memorial dedicated to those lost in the War of 1879. The memorial comprises a Statue of Victory standing on a column with four statues of combatants mounted on the base. In front stands Cloete's cannon, cast in Scotland and used during the fighting which secured the relief of the besieged Port Natal garrison in 1842. In the centre of the gardens stands the South African War Memorial, erected by the people of Natal in honour of the colonists who died for their sovereign and country during the South African War of 1899 – 1902, a Cenotaph in the Renaissance Revival style surmounted by a statue of the Winged Victory.' It is rated as 1(a).1(b).2.3.4.5.7.8

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of:

- 1 (a) National and / or Local Historical Importance
- 1 (b) National and / or Local Architectural Importance
- 2 Rare or outstanding Architectural Example
- 3 Grouping of Architectural Merit
- 4 Contributing to the Urban Setting
- 5 Contributing or Enhancing the Quality of the Adjoining Square or Open Space
- 7 Over Eighty years Old
- 8 Over Eighty years Old: Worthy of Architectural or Archaeological Study

The 'Green Book' notes Court Gardens as the site, the palisade attached to the old wall has reference. Please note the author's concern about the palisade and the impact that this has on the building and the walling onto which it is fixed.

Generally, the walling suffers from extreme lack of maintenance, the effects of continual and unpoliced bill sticking as well as material damage from damp. **PLEASE NOTE THAT ANY WORK CARRIED OUT IN THE PROXIMITY OF THIS BUILDING HAS TO BE DONE WITH EXTREME CARE**



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**Fig 73: View looking towards the Old Presbyterian Church with the old wall, the fixings to the wall, the palisade and the wall – pavement interface. Note particularly the damage done to the posts by bill sticking**



**Fig 74: Damage to the wall through lack of maintenance**



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**Fig 75: Damage to the walls through lack of maintenance. Not damage by bill sticking**



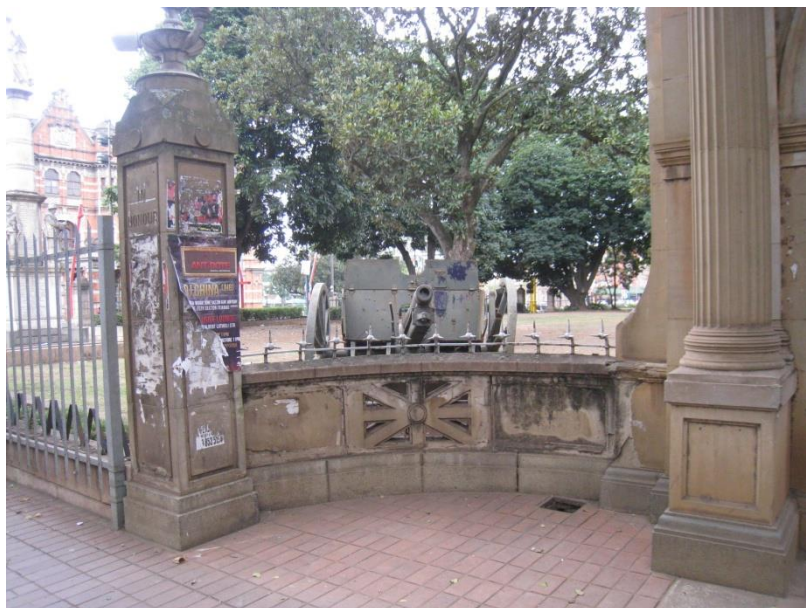
**Fig 76: View along Albert Luthuli Street towards the Tatham Art Gallery. Note damage to stonework from lack of maintenance as well as damage through bill sticking**



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**Fig 77: Note damage through lack of maintenance and also damage through bill sticking**



**Fig 78: Irrational placement of palisade and damage through bill sticking**



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**Fig 79: View up Church Street showing the wall – pavement interface.**



**Fig 80: View from corner of Albert Luthuli Street and Church Street. Note lack of planning and coherence in the placing of lighting, street furniture, etc.**



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### **Mitigation – Court Gardens (wall):**

Given the value and condition of this site, recommendations are as such:

- The work on site must be supervised at all times.
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- The supervisor and the architect for the project are to be directly accountable for any impact to the wall.
- Should the wall be damaged in any manner as a result of works to the pavement, the damage must be repaired by the contractor, and carried out in accordance with Amafa conditions and requirements.
- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- It must not be located against the wall in any manner.
- When excavation is being carried out, the base of the wall and the foundations must be protected from impact
- No pneumatic machinery is to be used in close proximity to the wall.
- At the slightest sight of cracks to the wall that were not in existence prior to work being carried out, all work in proximity to the wall and its cracks must cease.



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## 1.16 257 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:308) records this building as being 'Five storey office block with shops at ground floor: pitched slate roof: face brick and plastered walls:nineteen fifties modern. Architects- Stucke, Harrison, Ritchie and Wilson.' It is rated as 1(b).4.6.

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of

- 1 (b) National and / or Local Architectural Importance
- 4 Contributing to the Urban Setting
- 6 Work of a Pioneer or Master



**Fig 81: 257 Church Street looking at corner**



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**Fig 82: 257 Church Street from across Albert Luthuli Street**

### **Mitigation – 257 Church Street:**

Given the value and condition of this building, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
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- The existing paving must be carefully removed and stacked on the road edge before removal off site.
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### 1.17 260 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:662-663) records this building as being 'Three storey public building: main roofs in copper-subsidary roofs in pitched corrugated iron; red brick walls with plaster bands and elaborate quoins. This landmark building of high character was designed by the architect, R. Street Wilson. The original City Hall was completed in 1893 and rebuilt after the fire that destroyed it, in 1898. It was declared a National Monument in 1969. The City Hall is the largest red brick building in the Southern Hemisphere and takes its architectural style from the Flemish Renaissance, evident in the variety of gables and turrets which punctuate the parapet. An imposing campanile rises on the Church Street / Commercial Road corner and evidences some of the most elaborate detailing to be seen in the city. The entrances from Commercial Road and Church Street have heavily moulded brick and plaster porte-cocheres. The Pietermaritzburg City Hall is one of the best known period buildings in the Republic and, with its sisters, Publicity House and the old Supreme Court, form a core in the heart of the city unequalled in the country.' It is rated as 1(a).1(b).2.3.4.5.6.7.8

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of:

- 1 (a) National and / or Local Historical Importance
- 1 (b) National and / or Local Architectural Importance
- 2 Rare or outstanding Architectural Example
- 3 Grouping of Architectural Merit
- 4 Contributing to the Urban Setting
- 5 Contributing or Enhancing the Quality of the Adjoining Square or Open Space
- 6 Work of a Pioneer or Master
- 7 Over Eighty years Old
- 8 Over Eighty years Old: Worthy of Architectural or Archaeological Study

Despite the fact that this building has had extensive work carried out in repairs in recent years, the neglect of the Church Street entrance has reference. Further is mentioned in the final section of this report addressing buildings and issued.

**PLEASE NOTE THAT ANY WORK CARRIED OUT IN THE PROXIMITY OF THIS BUILDING HAS TO BE DONE WITH EXTREME CARE.**



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**Fig 83: General view of the Church Street elevation of Pietermaritzburg City Hall**



**Fig 84: General view of the plastered plinth – pavement interface**



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**Fig 85: General pavement – street interface looking towards the Church Street entrance to the City Hall**



**Fig 86: Degradation of plaster and brickwork, possibly as a result of the downpipe below ground**



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**Fig 87: Condition of plastered plinth at entrance to the City Hall. Note bill stuck to wall**



**Fig 88: Lampstand in planter, planter damaged**



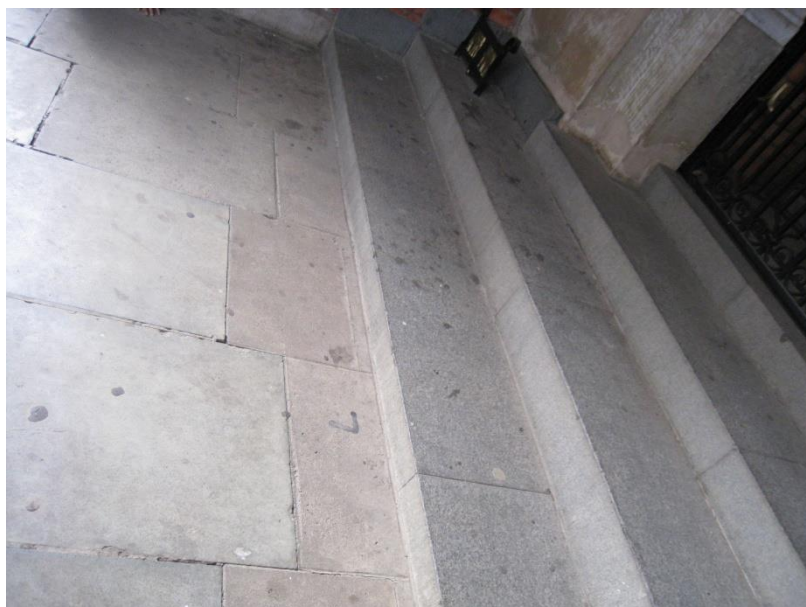
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**Fig 89: New brick paving stops**



**Fig 90: Showing condition of steps to City Hall**



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**Fig 91: Old lampstand outside City Hall on Church Street**



**Fig 92: Planter outside Church Street entrance to City Hall – note damaged brickwork**



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**Fig 93: General lack of repair and maintenance outside City Hall**



**Fig 94: Showing base to Church Street Entrance to City Hall**



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**Fig 95: Condition of wall along Church Street section of the City Hall**



**Fig 96: Condition of walling along the Church Street section of the City Hall**



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**Fig 97: Note degraded plaster work to base and damaged brickwork in Church Street entrance to the City Hall**



**Fig 98: Showing cursory treatment of areas around Church Street entrance to the City Hall**



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***Figs 99 & 100: Damage to both inner corners from downpipes not being replaced***



***Fig 101: Showing the general condition of the Church Street Entrance to the City Hall***



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## Mitigation – 260 Church Street:

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- It must not be located against the walls of the building in any manner.
- When excavation is being carried out, the base of the building and the foundations must be protected from impact
- No pneumatic machinery is to be used in close proximity to the walls of the building.
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### 1.18 279 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:309) records this building as being 'Single storey shop: concealed roof: plastered brick walls and canopy fascia: shop front.' It is rated as 1(a).4.

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of:

- 1 (a) National and / or Local Historical Importance
- 4 Contributing to the Urban Setting

This structure has been extensively altered and has suffered from much abuse in recent years. There is little left by way of a shopfront, nor is there any evidence at street level as to what the original elevation offered. Further, the building may have been renovated in recent years, but it has not been maintained. These observations inform the recommendations.

**PLEASE NOTE THAT ANY WORK CARRIED OUT IN THE PROXIMITY OF THIS BUILDING HAS TO BE DONE WITH EXTREME CARE**



**Fig 102: 279 Church Street from across the street**



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**Fig 103: Showing shopfront – threshold – pavement interface**



**Fig 104: Junction between 279 Church Street and its neighbor 277. Note proliferation of street paraphernalia**



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## Mitigation – 279 Church Street:

Given the value and condition of this building, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
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- No pneumatic machinery is to be used in close proximity to the walls of the building.
- At the slightest sight of cracks to the walls that were not in existence prior to work being carried out, all work in proximity to the building and its cracks must cease.

### 1.19 281 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:309) records this building as 'Single storey shop: concealed roof: plastered brick walls and canopy fascia: shop front.' It is rated as 1(a).4.

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of:

- 1 (a) National and / or Local Historical Importance  
4 Contributing to the Urban Setting

This structure has been extensively altered and has suffered from much abuse in recent years. There is little left by way of a shopfront, nor is there any evidence at street level as to what the original elevation offered. Further, the building may have been renovated in recent years, but it has not been maintained. These observations inform the recommendations.

**PLEASE NOTE THAT ANY WORK CARRIED OUT IN THE PROXIMITY OF THIS BUILDING HAS TO BE DONE WITH EXTREME CARE**



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**Fig 105: 281 Church Street in the centre adjacent to Forsyth's Buildings to the right**



**Fig 106: Showing the alley to the back between 181 Church Street and Forsyth's Buildings**



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## Mitigation – 281 Church Street:

Given the value and condition of this building, recommendations are as such:

- The work on site must be supervised at all times.
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### 1.20 283 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:309) records this building as 'Four storey business premises: concealed roof: plastered brick walls and shop front: an Edwardian commercial building which has been altered at ground floor.' It is rated at 1(b).4.7

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of:

- 1 (b) National and / or Local Architectural Importance
- 4 Contributing to the Urban Setting
- 7 Over Eighty years Old

This structure has been extensively altered and has suffered from much abuse in recent years. There is little left by way of a shopfront. Further, the building has not been maintained. These observations inform the recommendations.

**PLEASE NOTE THAT ANY WORK CARRIED OUT IN THE PROXIMITY OF THIS BUILDING HAS TO BE DONE WITH EXTREME CARE**



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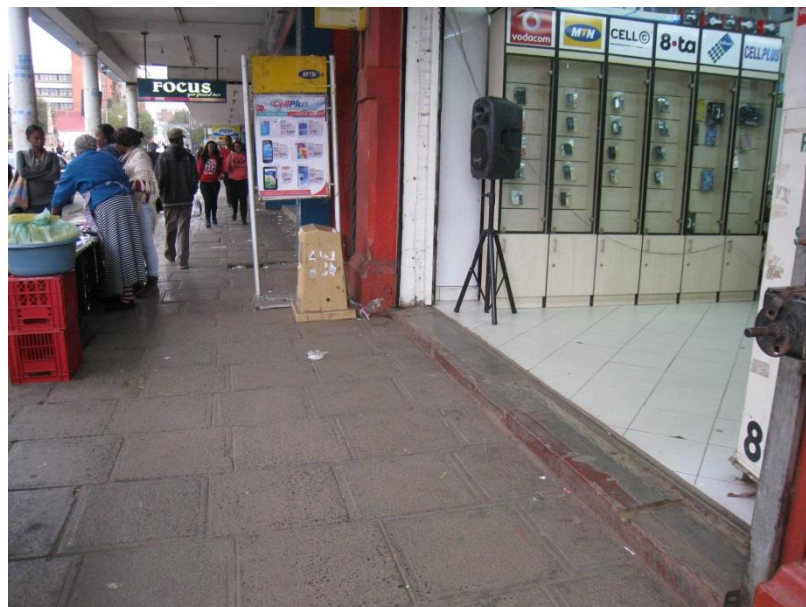
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**Fig 107: Four storey Forsyth's Buildings from across the street**



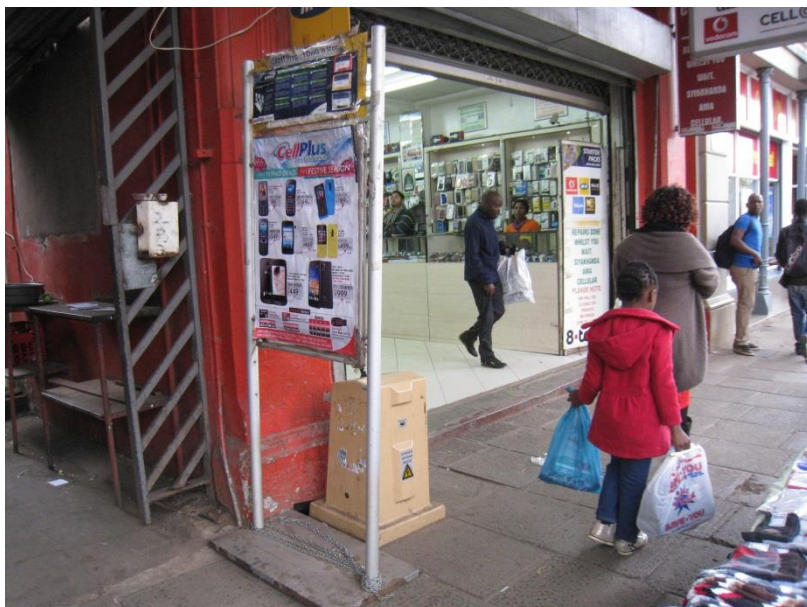
**Fig 108: Threshold – pavement interface Forsyth's Buildings**



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**Fig 109: Forsyth's Buildings threshold – pavement interface. Note intrusion of services onto pavement**



**Fig 110: End of colonnade of 279 – 283 Church Street looking down Church Street at 285 (McDonalds)**

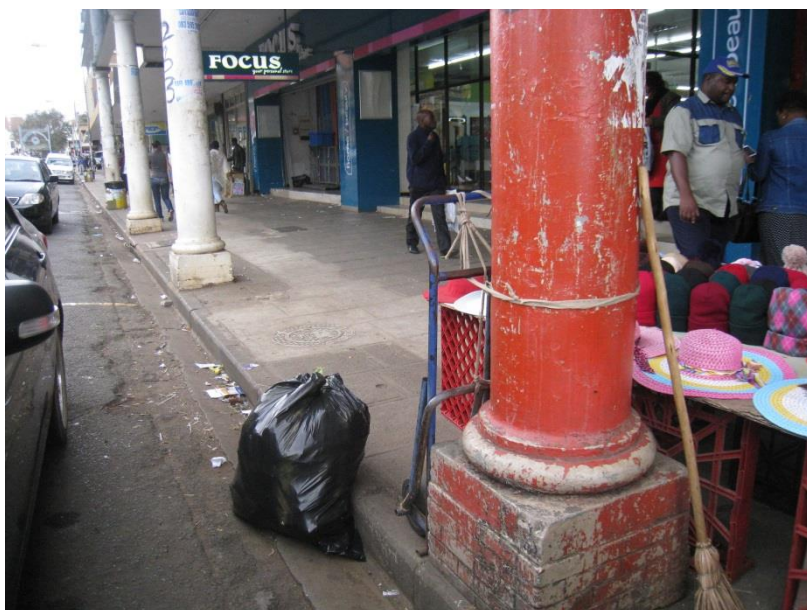


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**Fig 111: Showing condition of colonnade created by buildings 279 – 283 Church Street**



**Fig 112: Junction of 283 Church Street and 285 Church Street**



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## Mitigation – 283 Church Street:

Given the value and condition of this building, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
- The supervisor and the architect for the project are to be directly accountable for any impact to the building.
- Should the building be damaged in any manner as a result of works to the pavement, the damage must be repaired by the contractor, and carried out in accordance with Amafa conditions and requirements.
- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- It must not be located against the walls of the building in any manner.
- When excavation is being carried out, the base of the building and the foundations must be protected from impact
- No pneumatic machinery is to be used in close proximity to the walls of the building.
- At the slightest sight of cracks to the walls that were not in existence prior to work being carried out, all work in proximity to the building and its cracks must cease.



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## 1.21 285-287 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:310) records this building as 'Double storey shop: cast iron frame building with curtain wall of windows painted over. A precast concrete façade in Georgian Revival Style conceals the roof.' It is rated as 1(a).1(b).4.7.

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of:

- 1 (a) National and / or Local Historical Importance
- 1 (b) National and / or Local Architectural Importance
- 4 Contributing to the Urban Setting
- 7 Over Eighty years Old

This structure has been extensively altered at ground floor level. There is little left by way of a shopfront, nor is there any evidence at street level as to what the original elevation offered. Further, the building may have been renovated in recent years, but it has not been maintained. These observations inform the recommendations.

**PLEASE NOTE THAT ANY WORK CARRIED OUT IN THE PROXIMITY OF THIS BUILDING HAS TO BE DONE WITH EXTREME CARE**



**Fig 113: 285 – 287 Church Street from across the street**



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**Fig 114: 287 Church Street in the foreground and 285 Church Street behind**



**Fig 115: Shopfront – pavement interface 285 Church Street**



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**Fig 116: 285-287 Church Street with relation to 289 Church Street (First National Bank)**



**Fig 117: Shopfront – pavement interface for 287 Church Street**



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**Fig 118: Detail of shopfront – pavement interface 287 Church Street**

### **Mitigation – 285-287 Church Street:**

Given the value and condition of this building, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
- The supervisor and the architect for the project are to be directly accountable for any impact to the building.
- Should the building be damaged in any manner as a result of works to the pavement, the damage must be repaired by the contractor, and carried out in accordance with Amafa conditions and requirements.
- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- It must not be located against the walls of the building in any manner.
- When excavation is being carried out, the base of the building and the foundations must be protected from impact
- No pneumatic machinery is to be used in close proximity to the walls of the building.
- At the slightest sight of cracks to the walls that were not in existence prior to work being carried out, all work in proximity to the building and its cracks must cease.



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## 1.22 289 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:310) records this building as 'Double storey business premises: concealed flat roof: face brick, plastered columns and stone walls and mosaic faced columns. It is rated as 4.

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of:

### 4 Contributing to the Urban Setting

This building is in reasonably good condition. However, the state of cleanliness in the area around its base has much to be desired.



**Fig 119: 289 Church Street from across the street**



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**Fig 120: Showing the junction of 287 Church Street and the recessed façade of 289 Church Street**



**Fig 121: Corner detail of 289 Church Street**



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## Mitigation – 289 Church Street:

Given the value and condition of this building, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
- The supervisor and the architect for the project are to be directly accountable for any impact to the building.
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- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- It must not be located against the walls of the building in any manner.
- When excavation is being carried out, the base of the building and the foundations must be protected from impact
- No pneumatic machinery is to be used in close proximity to the walls of the building.
- At the slightest sight of cracks to the walls that were not in existence prior to work being carried out, all work in proximity to the building and its cracks must cease.

## 1.23 340 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:312) records this building as 'Single storey church: (Nederduitse Gereformeerde Kerk):flat ribbed sheet roof: face brick:brise soleil and plaster walls.' It is rated as 1(a).1(b).2.3.4.5.6

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of:

- 1 (a) National and / or Local Historical Importance
- 1 (b) National and / or Local Architectural Importance
- 2 Rare or outstanding Architectural Example
- 3 Grouping of Architectural Merit
- 4 Contributing to the Urban Setting
- 5 Contributing or Enhancing the Quality of the Adjoining Square or Open Space
- 6 Work of a Pioneer or Master

Note that whilst the 'Green Book' refers to the building, this particular assessment reflects on the impact of the wall along the pavement.

**PLEASE NOTE THAT ANY WORK CARRIED OUT IN THE PROXIMITY OF THIS BUILDING HAS TO BE DONE WITH EXTREME CARE.**



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**Fig 122: View of the context of the Church of the Vow (left) and the NGK (right)**



**Fig 123: Showing fence to gardens at NG Kerk**

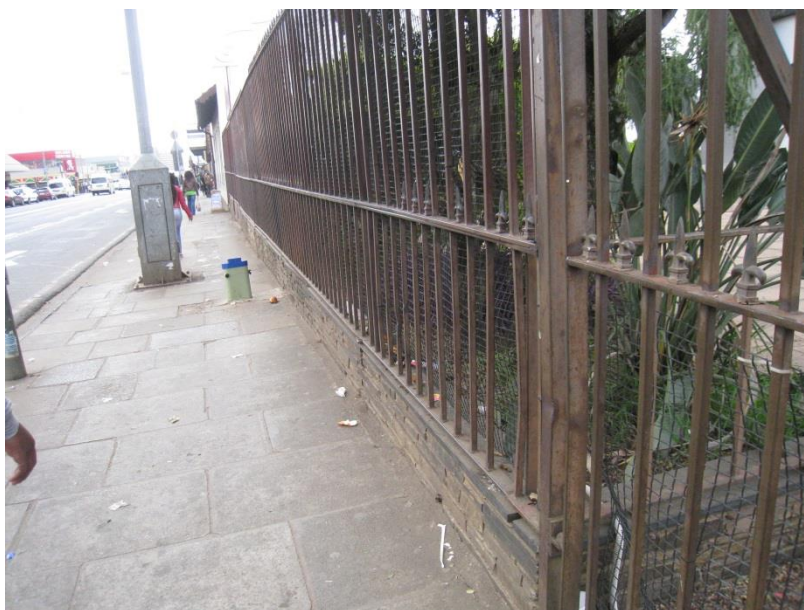


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**Fig 124: Palisade on top of shale wall outside the NGK / Voortrekker Museum Complex. Note thus the shale wall – pavement interface**

### **Mitigation – 340 Church Street:**

Given the value and condition of this site, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
- The supervisor and the architect for the project are to be directly accountable for any impact to the wall.
- Should the wall be damaged in any manner as a result of works to the pavement, the damage must be repaired by the contractor, and carried out in accordance with Amafa conditions and requirements.
- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- It must not be located against the wall in any manner.
- When excavation is being carried out, the base of the wall and the foundations must be protected from impact
- No pneumatic machinery is to be used in close proximity to the wall.
- At the slightest sight of cracks to the wall that were not in existence prior to work being carried out, all work in proximity to the wall and its cracks must cease.



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## 1.24 346 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:312) records this building as being 'Single story educational premises (Voortrekker Museum): tiled roof: plastered brick walls: Dutch Revival gables and portico added in the 1920's. Andries Pretorius's house behind the museum was transferred to this site from its original siting in Edendale. The Voortrekker Museum was proclaimed as a National Monument on 27<sup>th</sup> April 1937, the old pulpit on the 19<sup>th</sup> January 1940 and "Wolverdiend" Andries Pretorius' House on the 30<sup>th</sup> March 1972.' It is rated as 1(a).1(b).2.3.4.5.6.7.

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of:

- 1 (a) National and / or Local Historical Importance
- 1 (b) National and / or Local Architectural Importance
- 2 Rare or outstanding Architectural Example
- 3 Grouping of Architectural Merit
- 4 Contributing to the Urban Setting
- 5 Contributing or Enhancing the Quality of the Adjoining Square or Open Space
- 6 Work of a Pioneer or Master
- 7 Over Eighty years Old

This building has been renovated in recent years, and is in surprisingly good condition on the external wall facing Church Street.

**PLEASE NOTE THAT ANY WORK CARRIED OUT IN THE PROXIMITY OF THIS BUILDING HAS TO BE DONE WITH EXTREME CARE.**



**Fig 125: Showing the precinct of the Voortrekker Museum / Church of the Vow from the street**



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**Fig 126: The Church of the Vow (front) Welverdiend and the NG Kerk**



**Fig 127: Church of the Vow wall and shale base – pavement interface**



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**Fig 128: Looking down Church Street along the line of the Church of the Vow**



**Fig 129: Church of the Vow from the street showing bill sticking signs**



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**Fig 130: Church of the Vow services on the street and damaged pavement**



**Fig 131: Showing building – pavement interface. Condition of window cills good**



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## Mitigation – 346 Church Street:

Given the value and condition of this building, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
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- No pneumatic machinery is to be used in close proximity to the walls of the building.
- At the slightest sight of cracks to the walls that were not in existence prior to work being carried out, all work in proximity to the building and its cracks must cease.

### 1.25 350 Church Street

*The Buildings of Pietermaritzburg* (Bassett 1986:312) records this building as being Double Storey shop and offices: tiled roof (only true Mansard roof in the city):face brick and painted brick walls.' It is rated as 1(b).3.4.8

Thus: in terms of the 'Green Book' (Bassett 1986:277) it was assessed in 1986 as being of:

- 1 (b) National and / or Local Architectural Importance
- 3 Grouping of Architectural Merit
- 4 Contributing to the Urban Setting
- 8 Over Eighty years Old: Worthy of Architectural or Archaeological Study

**PLEASE NOTE THAT ANY WORK CARRIED OUT IN THE PROXIMITY OF THIS BUILDING HAS TO BE DONE WITH EXTREME CARE.**



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**Fig 132: Looking down Church Street – Voortrekker precinct to the right. Of importance is the shale base to the palisade fence. Note the street – pavement – fence interface**

### **Mitigation – 350 Church Street:**

Given the value and condition of this building, recommendations are as such:

- The work on site must be supervised at all times.
- Given that the time between the documentation exercise in this report and the commencement of work on site can result in further damage to the structure, prior to carrying out work, the contractor must take a thorough, detailed set of dated photographs in order to be able to monitor the works in the event of damage.
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## 1.26 Relocation of the Gandhi Statue

**PLEASE NOTE THAT ANY WORK CARRIED OUT REGARDING THIS OBJECT HAS TO BE DONE WITH EXTREME CARE.**

### **Description:**

This statue was erected by public subscription. It is mounted on an inscribed pedestal of black granite which is situated on a circular plinth. This has vertical cladding of granite faggots which are spalling. This statue has to be removed in order to allow for the rapid transit system and, in the opinion of the author, this is an opportunity to remedy the material concerns of the base, as well as update the context of the statue in general. The elements for retention are the statue and the inscribed plinth on which it is directly mounted.

### **Relocation:**

Whilst the general city planning intentions of the Msunduzi Municipality change and are generally inscrutable to say the least, options for relocation in the centre of the city do exist both in Carbineer Gardens and the Tatham Gardens. The relocation process, however, is also subject to public participation, given the erection of the statue by public subscription in the first place. This process can only happen once viable options in terms of the general city plan are made available.

### **Design of new plinth and surrounds:**

The design of the new plinth base and surrounds can only be carried out once the context of the new site is established, as this element of the process is also subject to public participation. Until then, the statue has to be removed and stored.

However, it is strongly recommended that the formalistic nature of the current plinth and surrounding benches be abandoned for something less prescriptive, and that black granite be avoided, especially the use of faggots which have a limited lifespan.

### **Removal and storage:**

At the point of removal of the statue:

- It must be established if the statue can be removed from the black granite base on which it stands. If so, this informs the removal process with regards to storage.
- It is recommended that a professional from Museum Services, or a professional artist such as Kim Goodwin, Gert Swart or Peter Hall be engaged as contractor in order to assess this particular part of the process, and advise as to possibilities of separating the statue from the base which would allow for much easier transportation and storage.
- The contractor must contact Amafa in order that an Amafa professional be present during the demounting.
- Assuming that the separation of the base and the statue is possible, a timber box must be prepared into which the statue will be placed for safekeeping until re-erected
- The statue must be carefully demounted and placed into the box which must be sealed.



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- The base must be removed from the base on which it stands and be sealed in a similar box
- Any plaques on the plinth and seating must be carefully removed for similar storage
- The boxes containing the statue and the base must be removed at the cost of the IRBT contractor to storage in the Amafa Materials Bank Storage in Prince Alfred Street.

#### **Re-design and re-erection:**

Once a suitable site has been decided upon through public participation and the input of the city, the statue can be replaced in a meaningful position with cogent surrounds. Note that Amafa will need to have input in this process.

The replacement plinth and seating can be designed with the assistance of one of the artists mentioned above, if need be. The re-erection of the statue will take place in a process much of the reverse as has been mentioned above.



**Fig 133: Statue of Gandhi outside the Colonial Building**



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**Fig 134: Base of the statue of Gandhi – note spalling tiles**



**Fig 135: Base of the statue of Gandhi**



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**Fig 136: Base of the statue of Gandhi**

### **1.28 Light posts**

Four Edwardian light bollards mark the square in front of the Colonial Building. They are in varying conditions, from areas of exposed brickwork to suffering the reposting of bill stickers. They are constructed of brick and plastered, with elaborate mouldings at the base, and lights on the top. Whilst Msunduzi Municipality is responsible for the repairs and maintenance to these structures, their continued security in the time of the construction of the IRBT system is vital.



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**Fig 137: Bollard showing plaster spalling from base**



**Fig 138: Bollard as in Fig 137**



**Fig 139: Close up of bollard**

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## Mitigation – Light bollards:

Given the value and condition of this building, recommendations are as such:

- The work on site must be supervised at all times.
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- The supervisor and the architect for the project are to be directly accountable for any impact to the building.
- Should the building be damaged in any manner as a result of works to the pavement, the damage must be repaired by the contractor, and carried out in accordance with Amafa conditions and requirements.
- The existing paving must be carefully removed and stacked on the road edge before removal off site.
- It must not be located against the walls of the building in any manner.
- When excavation is being carried out, the base of the building and the foundations must be protected from impact
- No pneumatic machinery is to be used in close proximity to the walls of the building.
- At the slightest sight of cracks to the walls that were not in existence prior to work being carried out, all work in proximity to the building and its cracks must cease.

## 1.29 General Comments

It must be noted that the general impression of an inspection of the central section of Church Street is not positive. The amount of litter and refuse in the street, and along the building edges is significant. However, it's not necessarily the effects of such that is problematic: the impression is one of neglect and grime. Buildings are dirty, not maintained, and the continual sanction by the city of allowing bill stickers is affecting the built environment severely. In many cases it is the items which are under City maintenance that are not looked after – water mains, electrical boxes and supply cabinet's damaged street furniture such as benches and dustbins. Gutters are missing from the City Hall, and the lack of any planning or elevation control is patent in the random application of signage and the tacit or otherwise permission to paint buildings which, simply, should not be painted.

Whilst similar and worse could be said for the sections running up Church Street, given that this is the centre of the city, is the precinct in which the City Hall, Tourism Hub and Tatham Art Gallery are situated, in addition to the KwaZulu-Natal Provincial Legislature, the perpetuating grime, filth and neglect shows a distinct lack of respect by the city towards itself, its inhabitants and its ratepayers and certainly does not encourage active tourism internally or from outside its city limits.

Planning in this section of Church Street is vital, and whilst at one point it was carefully considered, although with an historicist theme, little has been done in the last two decades to achieve a common sense of space in this precinct. This thus leads to the submission of recommendations to be embraced by Msunduzi Municipality management for general operations.



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## Recommendations:

- Guidelines to regulate signage – this informs the active reinstatement of elevation controls and signage controls in the city centre
- Prosecution on cleanliness
- Prosecution on bill sticking
- Replan services in the street in order to make the pavements more coherent
- Focus on repair to city owned sites: Tatham Gardens / Court Gardens, light bollards, City Hall
- Appointment of appropriate professionals within the city such as professional architects and technologists which are vital components of city planning to work on city projects and assist in policing the built environment in the city centre precinct at least.



*Fig 140: Lack of maintenance on the guttering system, City Hall*



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**Fig 141: Damaged planter outside the City Hall**



**Fig 142: Perpetual bill sticking on City property**



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**Fig 143: Refuse outside the Colonial Building. The bag in the planting contains chicken pieces**



**Fig 144: Overturned bollard**



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**Fig 145: Evidence of lack of policing of street and private property**



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